



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

Identifier 666550
Land Registration District Otago
Date Issued 16 October 2014

Prior References

50321 OT11D/497

Estate Fee Simple
Area 256.6679 hectares more or less
Legal Description Lot 2 Deposited Plan 478965 and Lot 4
Deposited Plan 20242

Proprietors

James Wilson Cooper

Interests

Subject to Section 8 Mining Act 1971

Subject to Section 168A Coal Mines Act 1925

Subject to a right to convey water and electricity over part Lot 4 DP 20242 marked A and B on DP 20242 specified in Easement Certificate 689224.2 - Produced 20.10.1987 and entered 11.11.1987 at 9:33 am

Appurtenant to Lot 2 DP 478965 herein is a right to convey water and electricity specified in Easement Certificate 689224.2 - Produced 20.10.1987 and entered 11.11.1987 at 9:33 am

Subject to a Land Covenant in Transfer 5066489.5 - 2.8.2001 at 9:33 am (affects Lot 4 DP 20242)

Subject to a right to pump, store and convey water and electricity over part Lot 4 DP 20242 marked A on DP 308660 created by Transfer 5284617.4 - 15.7.2002 at 3:14 pm

Subject to a right to convey water and electricity over part Lot 2 DP 478965 marked A and B on DP 478965 and a right to convey electricity over part Lot 2 DP 478965 marked C on DP 478965 created by Easement Instrument 5371233.4 - 11.10.2002 at 9:14 am

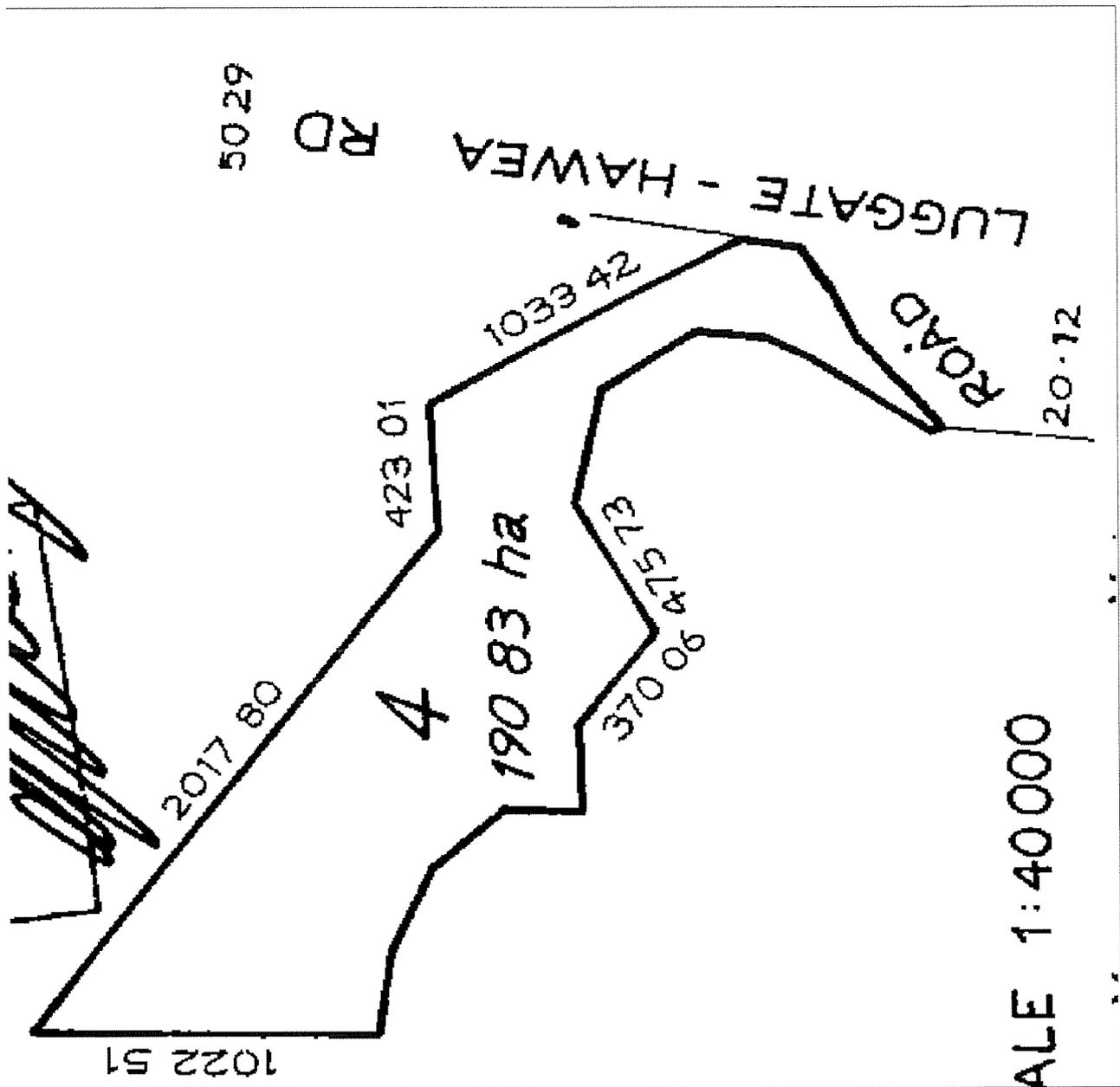
The easements created by Easement Instrument 5371233.4 are subject to Section 243 (a) Resource Management Act 1991

Subject to Section 241(2) Resource Management Act 1991 (affects DP 478965)

Subject to a right to convey water and electricity over part Lot 2 DP 478965 marked A, B and D on DP 478965 and a right to convey electricity over part Lot 2 DP 478965 marked C on DP 478965 created by Easement Instrument 9854856.4 - 16.10.2014 at 4:56 pm

The easements created by Easement Instrument 9854856.4 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Easement Instrument 9854856.5 - 16.10.2014 at 4:56 pm



IN THE HIGH COURT OF NEW ZEALAND
AUCKLAND REGISTRY

CIV 2005-404-6809

UNDER The Declaratory Judgments Act 1908

IN THE MATTER OF a Land Covenant as set out in Transfer 5066489.5
dated 5 June 2001 between Black Bag Limited
and Justin Stanley Russell.

BETWEEN **ROBIN LANCE CONGREVE, ERIKA
MARGARET CONGREVE, AND THOMAS
ALBERT CECIL MURRAY**, in their capacities as
trustees of the Congreve Family Trust

Applicants

AND **BIG RIVER PARADISE LIMITED**

Respondent

T 5066489.5 Transfer

Cpy - 01/01, Pgs - 006, 03/04/07, 07:14



DocID: 110232806

**SEALED DECLARATION OF JUSTICE WILLIAMS
8 MARCH 2007**



RUSSELL McVEAGH

G P Curry
Phone 64 9 367 8000
Fax 64 9 367 8163
PO Box 8
DX CX10085
Auckland

THIS proceeding coming on for trial on the 21st day of February 2007, before the Honourable Mr Justice Williams at Auckland, after hearing G P Curry of counsel for the Applicants and T G Stapleton of counsel for the Respondent, and the evidence then adduced, it is adjudged that under section 3 of the Declaratory Judgments Act 1908:

the true meaning and effect of the covenant contained in transfer 5066489.5 Otago Registry is to prevent the creation of more than three allotments of the servient lot as therein described or the construction of more than one dwelling on each such allotment.

Dated this 8th day of March 2007


(Deputy) Registrar

**L.S. SCORGIE
DEPUTY REGISTRAR**



Sealed this 16th day of March 2007



TRANSFER
Land Transfer Act 1952



If there is not enough space in any of the panels below, cross-reference to and use the approved Annexure Schedule: no other format will be received.

Land Registration District

OTAGO

Certificate of Title No. All or Part? Area and legal description -- *Insert only when part or Stratum, CT*

11D	497	All	
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Transferor Surnames must be underlined or in CAPITALS

BLACK BAG LIMITED

Transferee Surnames must be underlined or in CAPITALS

JUSTIN STANLEY RUSSELL

Estate or Interest or Easement to be created: *Insert e.g. Fee simple; Leasehold in Lease No; Right of way etc.*

Fee Simple subject to a Land Covenant (continued on page 2 annexure schedule)

Consideration

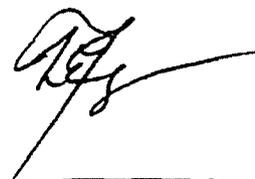
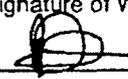
\$2,000,000 plus GST if any

Operative Clause

For the above consideration (receipt of which is acknowledged) the TRANSFEROR TRANSFERS to the TRANSFEEE all the transferor's estate and interest described above in the land in the above Certificate(s) of Title and if an easement is described above such is granted or created.

Dated this 5th day of June 2001

Attestation

	Signed in my presence by the Transferor by its director Lloyd Edwin Ferguson Signature of Witness 
	Witness to complete in BLOCK letters (unless typewritten or legibly stamped) Witness name Raymond Murray Blake Occupation Solicitor Address Wanaka Address (continued on page 2 annexure schedule)
Signature, or common seal of Transferor	

Certified correct for the purposes of the Land Transfer Act 1952
 Certified that no conveyance duty is payable by virtue of Section 24(1) of the Stamp and Cheque Duties Act 1971.
 (DELETE INAPPLICABLE CERTIFICATE)


 Solicitor for the Transferee

Annexure Schedule



TRANSFER

Dated 5th June 2001

Page 2 of 2 Pages

Continuation of "Estate or Interest or Easement to be created"

It is the Transferors intention to create for the benefit of the land in the Certificates of Title set out in Schedule A (called "the Dominant Lots") Land Covenant set out in Schedule B over the land in Certificate of Title 11D/497 (called "the Servient Lot") TO THE INTENT that the Servient Lot shall be bound by the stipulations and restrictions set out in Schedule B hereto and that the owners and occupiers for the time being of the Dominant Lots may enforce the observance of such stipulations against the owners for the time being of the Servient Lot.

AND AS INCIDENTAL To the transfer of the fee simple so as to bind the Servient Lot and for the benefit of the respective Dominant Lots the Transferee HEREBY COVENANTS AND AGREES in the manner set out in Schedule B hereto so that the covenants run with the Servient Lot for the benefit of the respective Dominant Lots as described in Schedule A

SCHEDULE A

Certificate of Title 18D/836
Certificate of Title 1257

SCHEDULE B

No subdivision of the Servient Lot shall permit the creation of more than three separate allotments nor permit more than one dwelling to be erected on each such allotment.

Signature of Transferee
Signed in my presence
by the Transferee
Justin Stanley Russell

Witness
Witness Name CHIN KIT WONG
Occupation DIRECTOR
Address C/ROMBI 37, 1-1 BORNEO

To: District Land Registry

Please enter the restrictive covenants created by this Transfer on the Certificates of Title in each of the Servient Lots.

Dated this 5th June 2001

Solicitor for the Parties

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or their solicitors must put their signatures or initials here.

Handwritten initials and signatures: JB, JR, and another signature.

YO, JAVIER GARCIA RUIZ, Notario del Ilustre Colegio de Barcelona, con residencia en la Capital, y conociendo el idioma en que está redactado este documento, HAGO CONSTAR: Que, a mi juicio, la firma que antecede pertenece a DON JUSTIN STANLEY RUSSELL.

Libro Indicador: Tomo III. Asiento número 3762.
En Barcelona a, 4 de Julio del año 2.001.

25
P.T.1
0,15€

SELLO DE
LEGITIMACIONES Y
LEGALIZACION

FE PÚBLICA
NOTARIAL



A handwritten signature in black ink, appearing to be 'Javier Garcia Ruiz', written over a horizontal line.

Appendix 9

Section 32AA Evaluation

This evaluation assesses the costs, benefits, efficiency, and effectiveness of the various new (and, where of significance, amended) policies and rules that are being recommended in my Reply Evidence.

The relevant provisions from the revised chapter are set out below, showing additions to the Council's recommended revised text (as included in the Council's Bundle of Documents dated 10 March 2017) in blue underlining and deletions in ~~blue strike through~~ text (ie as per the revised chapters in Appendix 6). The section 32AA assessment then follows in a separate table underneath the provisions.

RECOMMENDED CHANGES TO CHAPTER 27: SUBDIVISION AND DEVELOPMENT

1. Orchard Road Structure Plan

Recommended new Objective 27.3.16
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<u>Orchard Road Structure Plan – Infrastructure and roading connections that integrate with adjoining land within the Wanaka Urban Growth Boundary and the wider roading network to assist with creating a comprehensive and integrated infrastructure and transport network.</u>

Appropriateness (s32(1)(a))

<u>Roading</u>

<p>The proposed objective clearly articulates one of the key outcomes sought by the structure plan, which is to ensure that the site is integrated with adjoining land and the wider roading network. This is an appropriate outcome for this site, which adjoins other large sites that are proposed to be up-zoned through Stage 1 of the District Plan Review and as a result of Plan Change 46, which became operative in the Operative District Plan in August 2016. Requiring integration with adjoining developments will encourage the collective growth area to develop in a coordinated manner regardless of the ownership structure of the parent lots.</p>
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<u>Infrastructure</u>

<p>The structure plan site is located at the edge of the Wanaka Urban Growth Boundary (UGB) and infrastructure scheme boundary. Depending on the timing of any future subdivision of the land, there may be servicing constraints due to limited provision of trunk water and wastewater infrastructure. As such, it is appropriate that this objective requires particular consideration of infrastructure.</p>

Recommended new Policy 27.3.16.1

27.3.16.1 a. Ensure subdivision and development is consistent with the roading layout of the Orchard Road Structure Plan; or

b. Enable variances to the roading layout shown on the Orchard Road Structure Plan only when the variance results in a roading layout that is consistent with the QLDC Subdivision Design Guidelines 2015 and the layout ensures that the level of demand anticipated by the District Plan is provided for.

Costs	Benefits	Effectiveness & Efficiency
<p>Costs to the developer associated with designing the subdivision in accordance with the structure plan layout, which includes a requirement for two roading connections with Orchard Road and connections with adjoining development sites.</p> <ul style="list-style-type: none"> Costs to the developer to investigate options for alternatives to the structure plan layout. 	<ul style="list-style-type: none"> Ensures that the roading layout within the structure plan is integrated with adjoining development sites. The adjoining sites are also proposed to be up-zoned through the PDP and requiring integrated roading connections that are not constrained by the pattern of land ownership will assist with achieving integrated growth and result in a cohesive and well-planned layout of the collective residential area. The policy is consistent with, and reinforces, district-wide policy 27.2.2.4, which seeks to provide for integrated roading connections to existing and planned neighbourhoods both within and adjoining the subdivision area. 	<ul style="list-style-type: none"> The policy is effective and efficient in achieving Objective 27.3.16 as it clearly articulates a requirement for subdivision to appropriately integrate with adjoining development sites and the wider roading network. It is also effective and efficient as it clearly outlines the parameters which would need to be met for variances to the structure plan layout to be approved.

Recommended new Policy 27.3.16.2

27.3.16.2 Enable variances to the roading layout shown on the Orchard Road Structure Plan that provide one roading connection with Orchard Road only where the road connections to the adjoining road network demonstrate that two connections to Orchard Road are not necessary.

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none">• Costs to the developer associated with demonstrating that two roading connections are not necessary.	<p>The policy clearly articulates the parameters required to be met in order for variances to the structure plan layout to be approved, thereby providing certainty of the required outcome.</p> <ul style="list-style-type: none">• Any resultant variance to the roading layout would still achieve the over-arching goal of ensuring that the subdivision is integrated with adjoining development sites and the connection to Orchard Road is capable of servicing the resultant traffic demand.	<ul style="list-style-type: none">• The policy is effective and efficient in achieving Objective 27.3.16 as it clearly outlines the parameters which would need to be met for variances to the structure plan layout to be approved.

Recommended new Policy 27.3.16.3

27.3.16.3 Have regard to any infrastructure constraints for servicing the Orchard Road Structure Plan, and ensure that subdivision and development are appropriately serviced.

Note: costs associated with network upgrades may be required to be met by the developer.

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> • Financial costs of investigating whether network upgrades are required. • Financial costs associated with network upgrades, if required. However it is important that the developer does not assume the site can be readily serviced without investigations having first determined if upgrades to the network are necessary. 	<ul style="list-style-type: none"> • Emphasises that the structure plan site may be subject to servicing constraints, and provides the opportunity to highlight that costs for network upgrades may be required to be met by the developer. Although the costs associated with servicing are not strictly a district plan matter, highlighting this issue as a note to the policy foreshadows a matter that would need to be resolved for subdivision to proceed. • The policy is consistent with other policies within the wider suite that apply district-wide and relate to servicing, including the following: <ul style="list-style-type: none"> • 27.2.1.1; • 27.2.1.3; and • the policy suite for water supply, stormwater and wastewater: policies 27.2.5.6 to 27.2.5.16. 	<ul style="list-style-type: none"> • The policy is effective and efficient in achieving Objective 27.3.16 as it requires regard to be had to any servicing constraints. • The policy is also effective and efficient in assisting with achieving the Strategic Objective: Urban Development 4.2.1 that seeks that urban development is integrated with infrastructure.

Recommended new Objective 27.3.17

[Orchard Road Structure Plan – A sensitive transition from rural to urban through effective landscaping and building setbacks.](#)

Appropriateness (s32(1)(a))

The proposed objective clearly articulates one of the key outcomes sought by the structure plan, which is to ensure that subdivision design includes measures to provide a sensitive transition from the very low density of development enabled on land outside the UGB (immediately south of the structure plan) to the urban land within the UGB. The objective is targeted at the two most appropriate methods to achieve the outcome (landscaping and setbacks), thereby providing guidance regarding the most appropriate methods to achieve it and setting a targeted approach.

The objective gives effect to Strategic Urban Development Objective 4.2.8.2 that seeks to provide a sensitive transition to rural land at the edge of the UGB, through the use zoning and density controls, amenity and open space that limit the visual prominence of buildings.

Recommended new policy 27.3.17.1

[27.3.17.1 The 15 metre wide landscape strip and Building Restriction Area provides an effective visual transition from rural to urban through a mix of shrub and tree plantings to achieve good amenity and a defined urban edge.](#)

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none">• Financial costs to developer incurred by being unable to develop the Building Restriction Area.• Financial costs to developer associated with designing and implementing the landscape strip.	<ul style="list-style-type: none">• The structure plan is located within the inner edge of the UGB and as such it is appropriate to provide measures to assist with the addressing the visual impact of the transition from rural to urban. This would in part be achieved through the density controls of the Low Density Residential Zone, however	<ul style="list-style-type: none">• The policy is effective and efficient in achieving Objective 27.3.17 as it requires the landscape strip and Building Restriction Area to achieve a sensitive transition from rural to urban.• To achieve this through another method, such as introducing a bespoke set of rules that would apply to

	<p>the density enabled is substantially greater than that anticipated in the Rural Zone immediately south of the structure plan area. The landscape strip and Building Restriction Area would soften the visual effect of a hard urban edge that would otherwise result.</p> <ul style="list-style-type: none"> • The landscape strip would adjoin the 15m wide landscape strip required for the PC46 site to the north, and would provide a contiguous feature along the inner edge of the UGB. It therefore provides a consistent approach to the boundary treatment required. 	<p>development adjoining the UGB would not be as efficient.</p>
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Recommended new Policy 27.3.17.2

27.3.17.2 Enable variances to the 15 metre wide landscape strip and Building Restriction Area shown on the Orchard Road Structure Plan only when the variance will limit the visual impact of resultant development to the same degree or better than that which would be achieved by implementing the Structure Plan.

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> Financial costs to developer associated with investigating alternatives to the structure plan size and layout of the landscape strip and Building Restriction Area. 	<ul style="list-style-type: none"> The policy provides flexibility for variances to the structure plan, whilst providing certainty regarding the outcomes sought. Irrespective of any approved variances to the structure plan, the landscape strip and Building Restriction Area would still be required to limit the visual impact of development resulting from the subdivision. This in turn would ensure that Objective 27.3.17 is achieved. 	<ul style="list-style-type: none"> The policy effectively and efficiently achieves Objective 27.3.17 because it provides flexibility for alternative to the structure plan to be considered, whilst ensuring that the desired outcome to provide a sensitive transition from rural to urban is provided.

Recommended new Objective 27.3.18

[Orchard Road Structure Plan – An integrated public walking and cycling link is provided within the landscape strip and Building Restriction Area.](#)

Appropriateness (s32(1)(a))

The proposed objective clearly articulates one of the outcomes sought by the structure plan, which is to utilise the landscape strip and Building Restriction Area for the purpose of providing a walking/cycling link. The strip would connect to the 15m wide landscape strip within the adjoining PC46 land to the north.

It is therefore appropriate to harness opportunities to provide walking and cycling links that integrate with adjoining developments and the wider open space/trails network. This objective is consistent with District-wide Objective 27.2.1 which seeks that subdivision enables... *"quality environments that ensure the District is a desirable place to live, work, visit and play"*. It is also consistent with District-wide Policy 27.2.2.4 that requires that subdivision provides for integrated connections and accessibility to trails.

The objective gives effect to Strategic Urban Development Policy 4.2.3.1 that provides for connectivity and integration within urban growth boundaries.

Recommended new Policy 27.3.18.1

27.3.18.1 Require the landscape strip and Building Restriction Area shown on the Orchard Road Structure Plan to provide a public walking/cycling link to adjoining land to the north and discourage fragmentation of this land.

Note: Discouraging fragmentation could be achieved by vesting the land that comprises the landscape strip and Building Restriction Area in Council.

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none">• Financial costs to the developer to construct the walking/cycling link in conjunction with landscaping.• Decreased financial returns to the developer due to the limitations on subdivision of the landscape strip and Building Restriction Area.	<ul style="list-style-type: none">• Integration with other future trails through the wider up-zoned area, with the aim to assist with providing an integrated walking/cycling network.• Limiting fragmentation of the strip will encourage it to remain in single ownership, which would in turn encourage it's vesting in Council.	<ul style="list-style-type: none">• The policy effectively and efficiently achieves Objective 27.3.18 because it limits opportunities to fragment the landscape strip and Building Restriction Area, and requires that it is also used for a walking/cycling trail that will be capable of linking with a future network of trails within the wider area proposed to be up-zoned through the District plan Review.

Recommended new Rule 27.7.13

<p>27.7.13</p>	<p>Orchard Road</p> <p>Subdivision which is consistent with the Orchard Road Structure Plan in part 27.14.</p> <p>The matters over which Council reserves control are:</p> <ul style="list-style-type: none"> • The matters of control listed under Rule 27.7.1; • Consistency with the Orchard Road Structure Plan; • Roading layout; • The number, location and design of access points from Orchard Road and access points to adjoining land within the Wanaka Urban Growth Boundary; • Landscaping, including species and density of plantings; and • Public cycling/walking track. 	<p>C</p>
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Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> • Financial costs to the developer associated with designing the subdivision to be consistent with the structure plan. • Financial costs to the developer associated with implementing resource consent conditions. 	<ul style="list-style-type: none"> • Controlled activity status affords certainty that the consent will be approved, albeit subject to conditions. • The matters of control are consistent with the matters able to be considered for other structure plans, with the addition of specific matters that are pertinent to this specific structure plan area. • The associated policy suite provides guidance regarding the outcomes sought to assist with determining the appropriate consent conditions, if required. 	<ul style="list-style-type: none"> • The rule is effective and efficient in achieving the relevant objectives as it ensures that the matters highlighted at the objective and policy level are able to be considered through a controlled activity resource consent.

Recommended new Rule 27.7.15

27.7.15	Subdivision that is inconsistent with the Orchard Road Structure Plan or the West Meadows Drive Structure Plan specified in part 27.14.	D
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Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> Discretionary activity status may be granted or declined and therefore lacks certainty for the developer. 	<ul style="list-style-type: none"> Discretionary activity status enables any relevant effect to be considered, which in turn enables flexibility for the degree of departure from the structure plan to be a consideration that would influence the ease of obtaining consent. An alternative cascading activity status regime (whereby, the greater the departure from the structure plan, the more rigorous planning 'test' applies) would be overly complex. The associated policy suite provides guidance regarding the outcomes sought to assist with determining the grant of consent. 	<ul style="list-style-type: none"> The rule is effective and efficient in achieving the relevant objectives as it ensures that the matters highlighted at the objective and policy level are able to be considered through a discretionary activity resource consent.

Recommended new Structure Plan 27.14.X

Orchard Road Structure Plan

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none">• Financial costs to the developer associated with implementing the structure plan.	<ul style="list-style-type: none">• The structure plan provides certainty regarding the outcomes sought for this land, above and beyond the requirements for subdivision that apply District-wide.• Depicting the plan within Chapter 27 – Subdivision and Development ensures that it is able to be read in conjunction with the requirements for subdivision, rather than it appearing in the Low Density Residential Zone Chapter, where it has lesser relevance.• The structure plan will achieve integration with adjoining development in an area of Wanaka that is being up-zoned through the District Plan Review. It will assist with achieving integration with the adjoining developments, and ultimately assist with ensuring that the wider area will function as a cohesive whole.	<ul style="list-style-type: none">• The structure plan is effective and efficient in achieving the relevant objectives as promotes integration between separate subdivisions and land ownerships. It also provides for walking and cycling at the urban edge and integrates with zoned urban land in Volume B (PC 46).

2. West Meadows Drive Structure Plan

Recommended new Objective 27.3.19

[West Meadows Drive Structure Plan – The integration of road connections between West Meadows Drive and Meadowstone Drive.](#)

Appropriateness (s32(1)(a))

The proposed objective clearly articulates one of the purposes of the outcomes sought by the structure plan, which is to distribute traffic more evenly onto Cardrona Valley Road.

Recommended new Policy 27.3.19.1

[27.3.19.1 Enable subdivision which has a roading layout that is consistent with the West Meadows Drive Structure Plan.](#)

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> Financial costs to the developer to ensure roading connections. However this is already expected through the PDP subdivision chapter provisions that encourage connections between subdivisions and the Subdivision Design Guidelines 2015. 	<ul style="list-style-type: none"> Encourage more even distribution of traffic onto Cardrona Valley Road and reduce potential for traffic congestion at the West Meadows Drive and Cardrona Valley Road subdivision. 	<ul style="list-style-type: none"> The policy will be effective at ensuring the structure plan is given effect to.

Recommended new Policy 27.3.19.2

[27.3.19.2 Enable variances to the West Meadows Drive Structure Plan on the basis that the roading layout results in the western end of West Meadows Drive being extended to connect with the roading network and results in West Meadows Drive becoming a through-road.](#)

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> • None identified. 	<ul style="list-style-type: none"> • Provides the developer the option to deviate from the structure plan on the basis the outcome achieves the intent. 	<ul style="list-style-type: none"> • The policy is effective because it will ensure the structure plan objective will be given effect to. It is also efficient where it provides scope for alternatives.

Recommended new Rule 27.7.14		
27.7.14	<p>West Meadows Drive</p> <p>Subdivision which is consistent with the West Meadows Drive Structure Plan in part 27.14.</p> <p>The matters over which Council reserves control are:</p> <ul style="list-style-type: none"> • The matters of control listed under Rule 27.7.1; • Consistency with the West Meadows Drive Structure Plan; and • Roading layout. 	C

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> • Financial costs to the developer associated with designing the subdivision to be consistent with the structure plan. • Financial costs to the developer associated with implementing resource consent conditions. 	<ul style="list-style-type: none"> • Controlled activity status affords certainty that the consent will be approved, albeit subject to conditions. • The matters of control are consistent with the matters able to be considered for other structure plans, with the addition of specific matters that are pertinent to this specific structure plan area. • The associated policy suite provides guidance regarding the outcomes sought to 	<ul style="list-style-type: none"> • The rule is effective and efficient in achieving the relevant objectives as it ensures that the matters highlighted at the objective and policy level are able to be considered through a controlled activity resource consent.

	assist with determining the appropriate consent conditions, if required.	
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Recommended new Structure plan 27.14.X
West Meadows Drive Structure Plan

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> • Financial costs to the developer associated with implementing the structure plan. 	<ul style="list-style-type: none"> • The structure plan provides certainty regarding the outcomes sought for this land, above and beyond the requirements for subdivision that apply District-wide. • Depicting the structure plan within Chapter 27 – Subdivision and Development ensures that it is able to be read in conjunction with the requirements for subdivision, rather than it appearing in the Low Density Residential Zone Chapter, where it has lesser relevance. • The structure plan will achieve integration with adjoining development in an area of Wanaka that is being up-zoned through the District Plan Review. It will assist with achieving integration with the adjoining developments, and ultimately assist with ensuring that the wider area will function as a cohesive whole. 	<ul style="list-style-type: none"> • The structure plan is effective and efficient in achieving the relevant objectives by providing only the key components related to the objective which is to do with transport integration between subdivisions.

3. Rural Residential A Zone at Lake Hawea

Recommended new Rules 22.5.11.4 and 27.6.1

22.5.11	<p>Residential Density: Rural Residential Zone</p> <p>35.1.1.1 Not more than one residential unit per 4000m² net site area.</p> <p><u>In the Rural Residential zone at the north of Lake Hayes:</u></p> <p><u>22.5.11.2 for allotments less than 8000m² in size, there shall be only one residential unit;</u></p> <p><u>22.5.11.3 for allotments equal to or greater than 8000m² there shall be no more than 1 residential unit per 4000m², on average.</u></p> <p><u>In the Rural Residential A Zone at Lake Hāwea:</u></p> <p><u>22.5.11.4 2000m²</u></p>	NC
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27.6.1 Subdivision Minimum Lot Area

Zone		Minimum Lot Area
Rural Residential	Rural Residential	4000m ²
	<u>Rural Residential A</u>	<u>2000m²</u>

No additional objectives or policies, or alterations to objectives and policies are considered necessary. The bespoke allotment size and density of 2000m² is considered to be applicable and give effect to 22.2.1.2, 22.2.1.3 and 22.2.1.5, because of the amenity and sensitivity of the environment affected by the density.

Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none"> Reduced amenity through the increase in density, which may potentially exacerbated by the limited potential for comprehensively designed subdivision. There will be a 	<ul style="list-style-type: none"> Provides for a small increase in housing supply and choice in the Upper Clutha area. Economic wellbeing from the landowners who undertake infill development and subdivision. 	<ul style="list-style-type: none"> The increased density will assist with efficiencies in housing choice and supply in an established area.

<p>proliferation of infill and leg in accesses that often are not as good an amenity and subdivision design outcome as a comprehensively planned subdivision.</p> <ul style="list-style-type: none">• Costs in terms of amenity to the residents who oppose the intensive zoning.		
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4. Wanaka Central Developments (397) MDRZ at Kirimoko.

Recommended rezoning to Medium Density Residential Zone at Kirimoko
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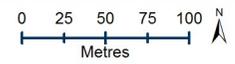
Costs	Benefits	Effectiveness & Efficiency
<ul style="list-style-type: none">• Reduction of open space associated with higher living density.	<ul style="list-style-type: none">• Consistent with Council's strategic direction to increase supply of housing stock in response to demand• Consistent with Council's strategic direction to create a compact urban form• Located within the UGB• Located close to amenities, and community facilities including schools and parks.• Located reasonable distance to Wanaka Town Centre.	<ul style="list-style-type: none">• The zone change request would provide for an increase in housing stock, upholding the intention of the strategic provisions of the PDP.

Recommended new Structure Plan 27.14.X Orchard Road

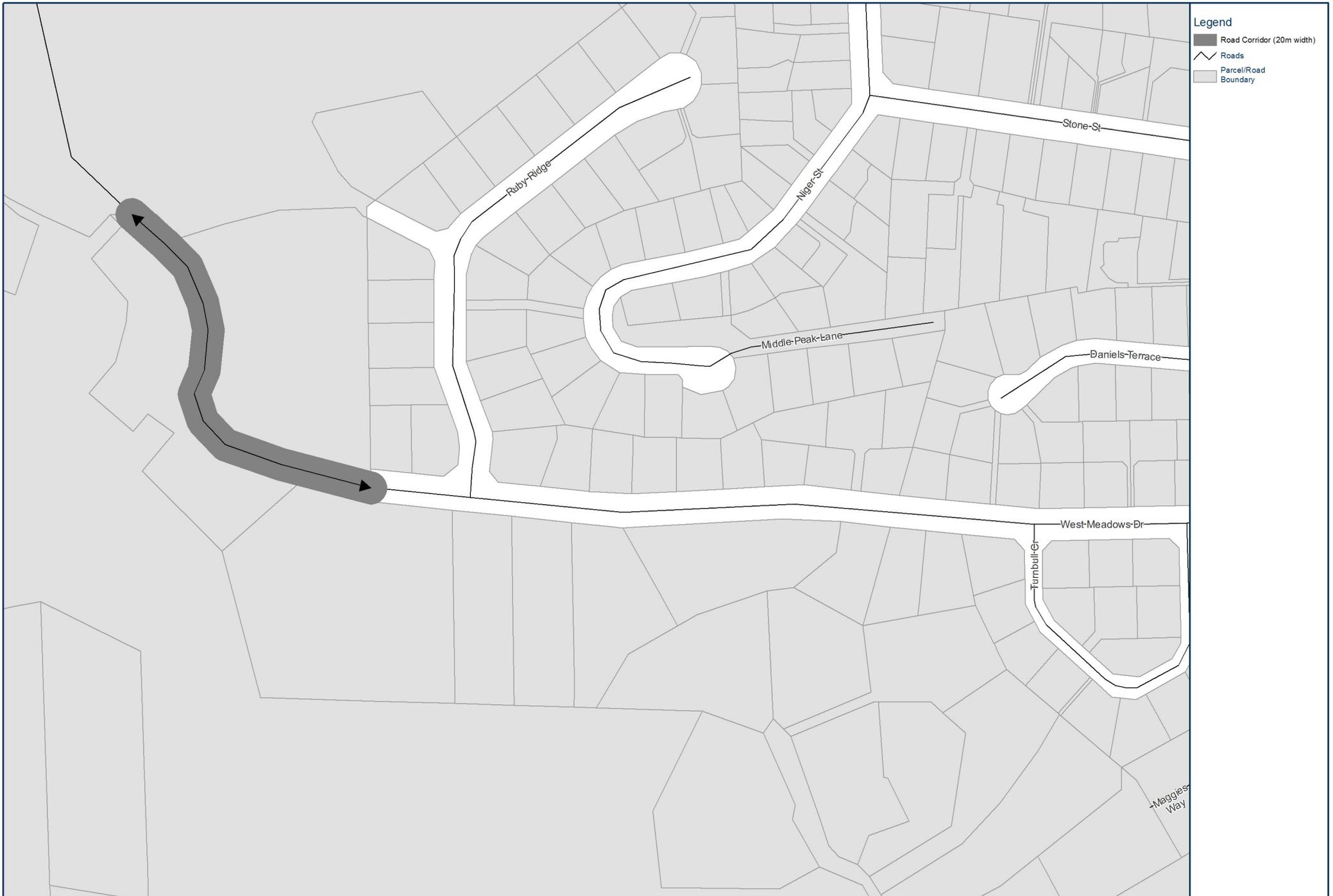


- Legend**
- Urban Growth Boundary
 - Road Corridor (20m width)
 - Building Restriction Area and Landscape Strip (15m width)
 - Roads
 - Parcel/Road Boundary

Orchard Road Structure Plan



Recommended new Structure Plan 27.14.X West Meadows Drive



- Legend**
- Road Corridor (20m width)
 - Roads
 - Parcel/Road Boundary

West Meadows Drive Structure Plan

